

Developed by



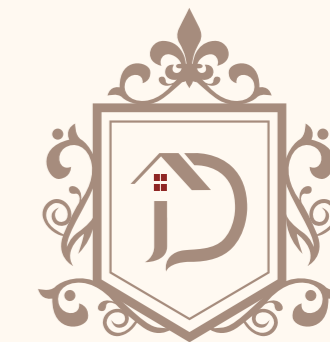
Call : 85830 09495 / 62909 99831

Site Address : Dupleixpatty, Chandannagar, Hooghly, Pin - 712136

Mail : dbmrealtors2018@gmail.com Web : www.dbmrealtors.in

Disclaimer : This is not legal document. It describes the conceptual plan and intent of the builder. The images and the details mentioned in this document are tentative and subject to change at the discretion of the developer and / or architects.

*Simply Chandannagar*



**DUPLEIX**  
— A French Luxury Living —

Welcome to a stunning  
facade of **French Living**  
@ CHANDANNAGAR

Project RERA No. : **WBRERA/P/HOO/2024/002173** | RERA Website : [www.rera.wb.gov.in](http://www.rera.wb.gov.in)



**DUPLEX**  
— A French Luxury Living —

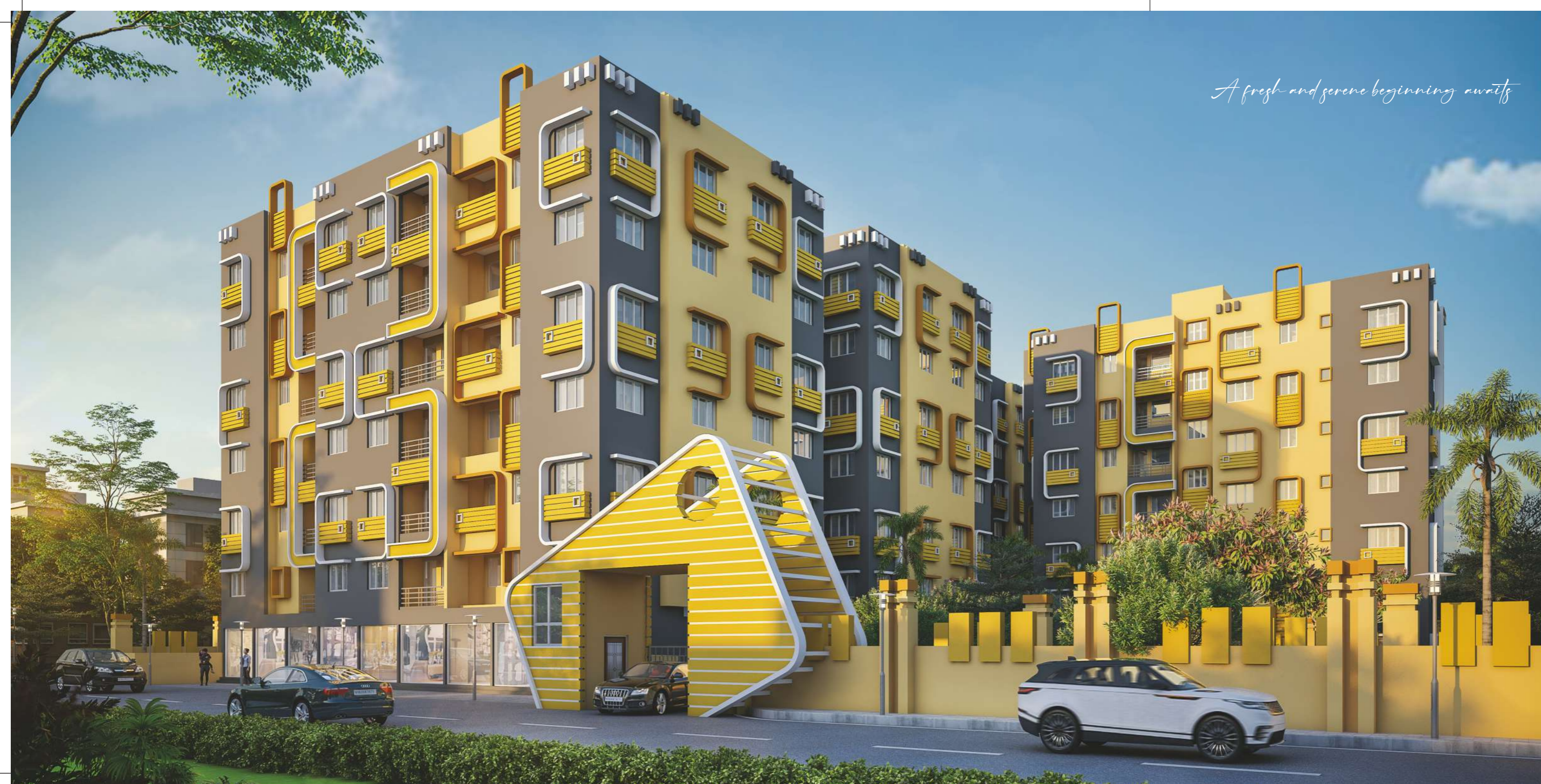


Chandannagar was established as a French colony in 1673, when the French obtained permission from Ibrahim Khan, the Hawab of Bengal, to establish a trading post on the right bank of the Hooghly River.

It became a permanent French settlement in 1688, and in 1730 Joseph Francois Dupleix was appointed governor of the city, during whose administration more than two thousand brick houses were erected in the town and a considerable maritime trade was carried on. For a time, Chandannagar was the main center for European commerce in Bengal.

Hence, an initiative in giving you the same feeling with a mix of Bengal and French culture in to your Living experience.





*A fresh and serene beginning awaits*



**DUPLEIX**  
— A French Luxury Living —



A French theme based haven where you can rejuvenate, relax and revel in visual appeal with the real taste of natural beauty. Get refreshed and indulge yourself with a beautiful well decorated 10,000 sq.ft. natural water body and choose to unwind with a walk or a jog around.





*live in harmony with luxury*



**DUPLEIX**  
— A French Luxury Living —



With apartments now added to our superior collection there are even more choice available. Whether its 2 or 3 bedroom home luxury comes guaranteed. Contemporary, light, open spaces, where every details has been considered to create your dream home.



# MASTER PLAN



The stunning open-area spaces are the focal point of DUPLEIX living. Equally suited to entertain or unwind, these areas provide functionality and comfort. Fitted for a finish beyond compare, both inside and out, the homes at DUPLEIX will exude luxury, fine living and a specification second to none.





# Enjoy

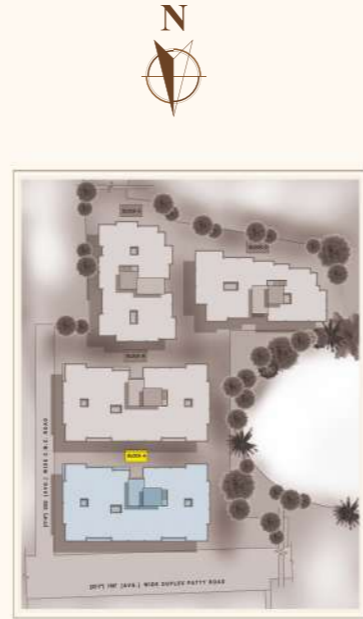
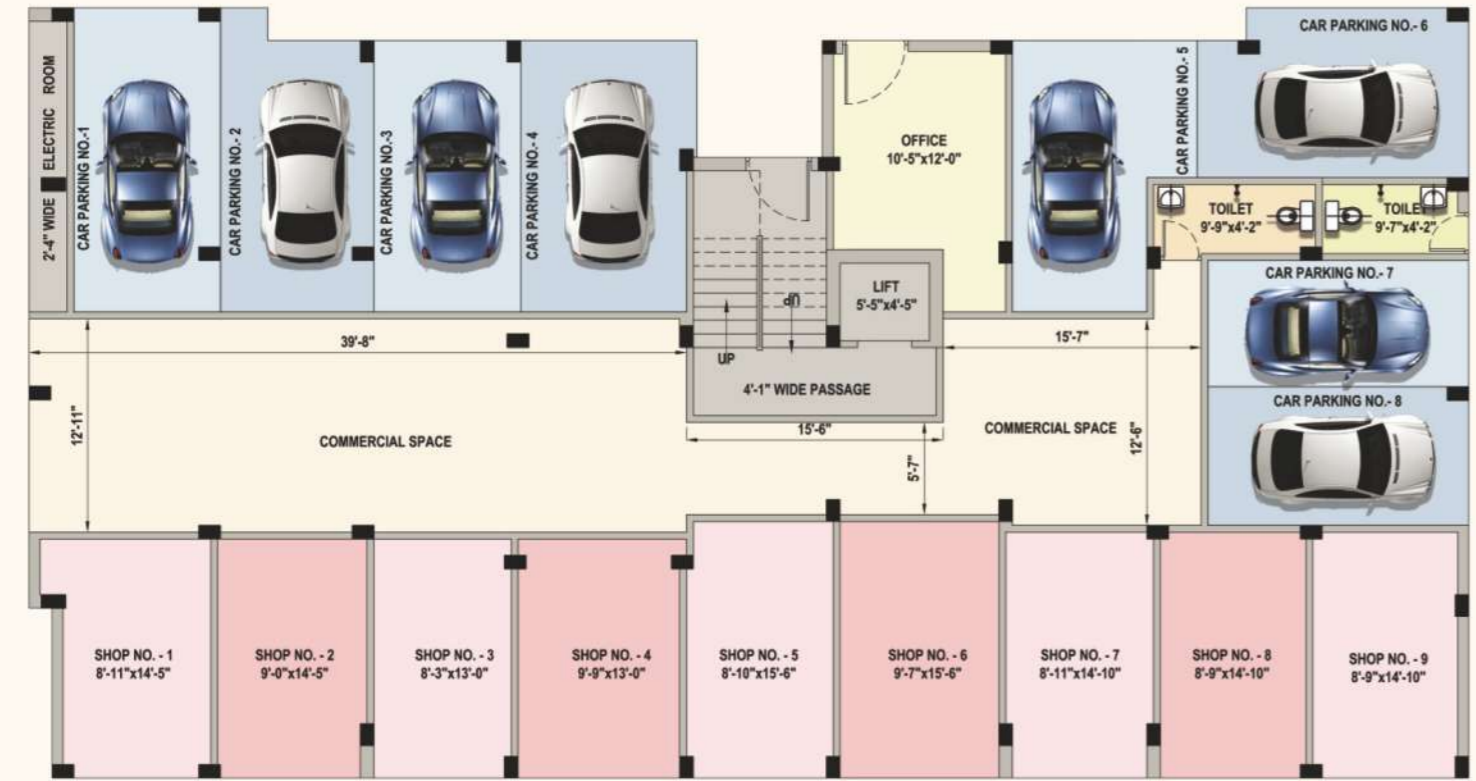
NATURAL WATER BODY

The unmatched levels of quality within DUPLEIX make the apartments and its amenities stand out from the crowd as a shining example of what can be achieved if you combine vision with first-rate construction and premium design.

## AMENITIES

- 24 x 7 Security with CCTV
- Community Hall
- Indoor Games Room
- Jogging Track
- Children's Play Area
- Well Decorated Water Body
- Car Parking Space
- 24 x 7 Power Backup

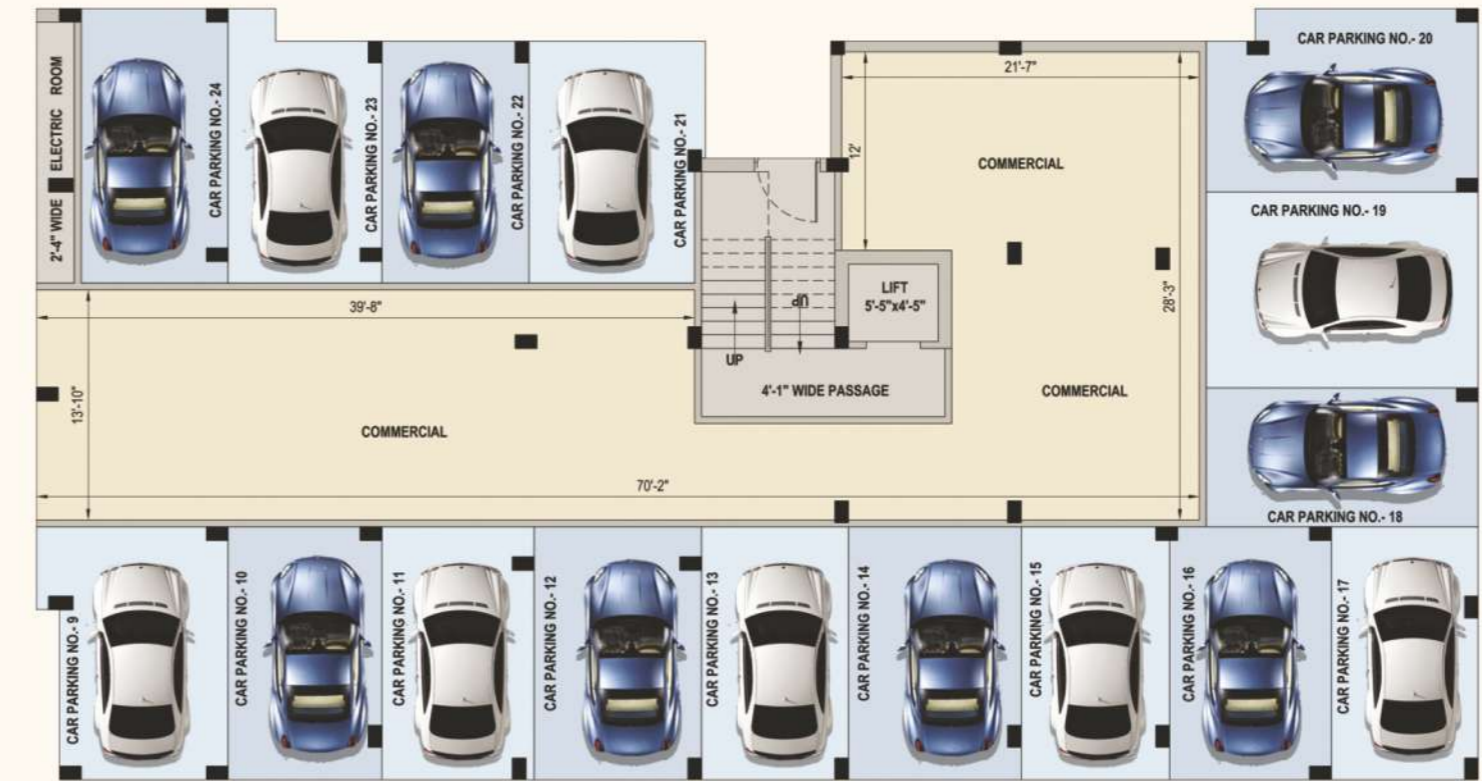
# GROUND FLOOR PLANS



BLOCK - A		
Car Parking MKD.	Covered Area Sq.ft.	S.B.U Area Sq.ft. 10%
1	163	179
2	158	147
3	145	160
4	169	186
5	158	174
6	166	183
7	120	132
8	132	145

BLOCK - A		
Shop MKD.	Covered Area Sq.ft.	S.B.U Area Sq.ft. 10%
Commercial	909	1091
1	150	180
2	138	166
3	127	152
4	149	179
5	145	174
6	157	188
7	141	169
8	140	168
9	147	176

BLOCK - A		
Commercial MKD.	Covered Area Sq.ft.	S.B.U Area Sq.ft. 20%
Office	168	202



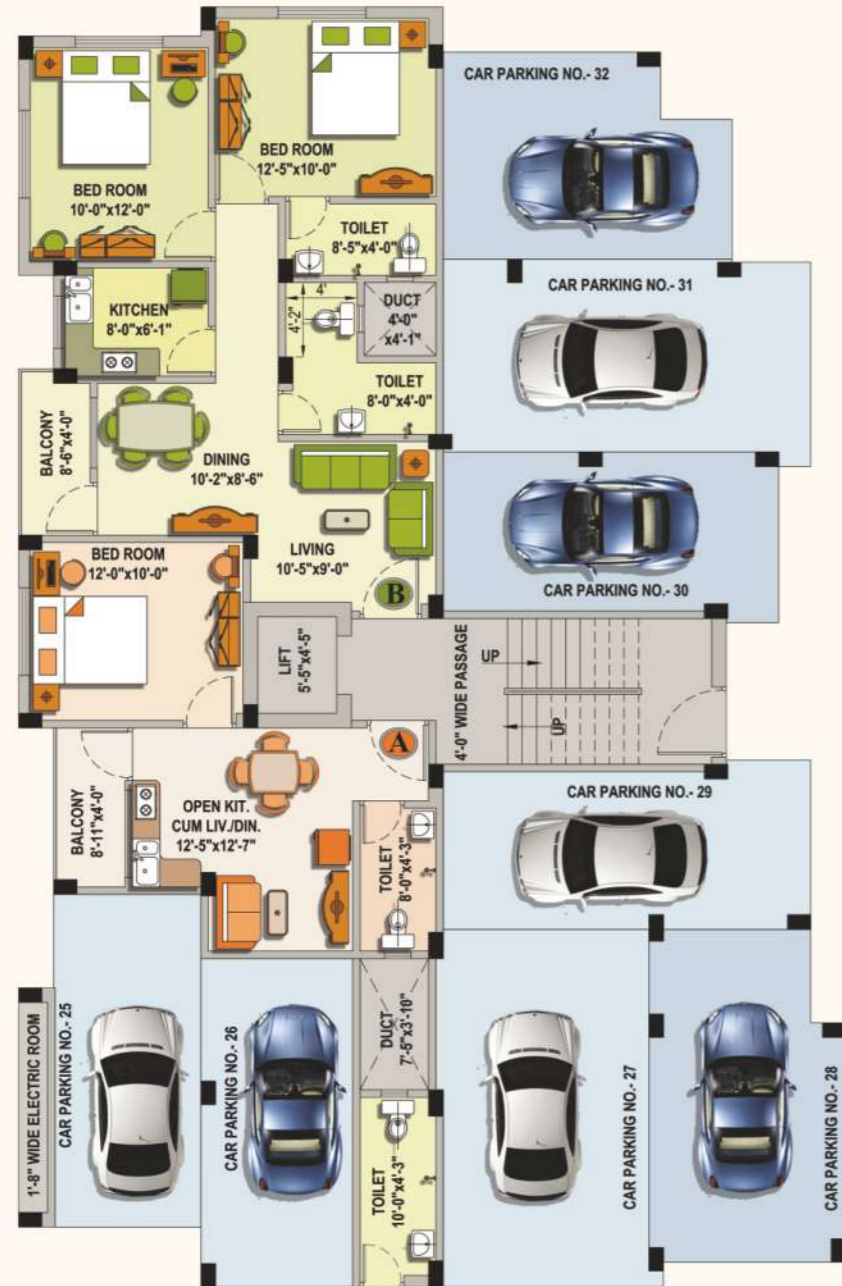
BLOCK - B		
Car Parking MKD.	Covered Area Sq.ft.	S.B.U Area Sq.ft. 10%
9	162	178
10	141	155
11	140	154
12	154	169
13	135	149
14	159	175
15	136	150
16	149	164
17	135	149
18	137	151

BLOCK - B		
Car Parking MKD.	Covered Area Sq.ft.	S.B.U Area Sq.ft. 10%
19	194	213
20	176	194
21	151	166
22	129	142
23	141	155
24	147	162

BLOCK - B		
Shop MKD.	Covered Area Sq.ft.	S.B.U Area Sq.ft. 20%
Commercial	1241	1489



# GROUND FLOOR PLANS



BLOCK - C		
Car Parking MKD.	Covered Area Sq.ft.	S.B.U Area Sq.ft. 10%
25	154	169
26	165	182
27	237	261
28	197	217
29	193	212
30	177	195
31	225	248
32	174	191

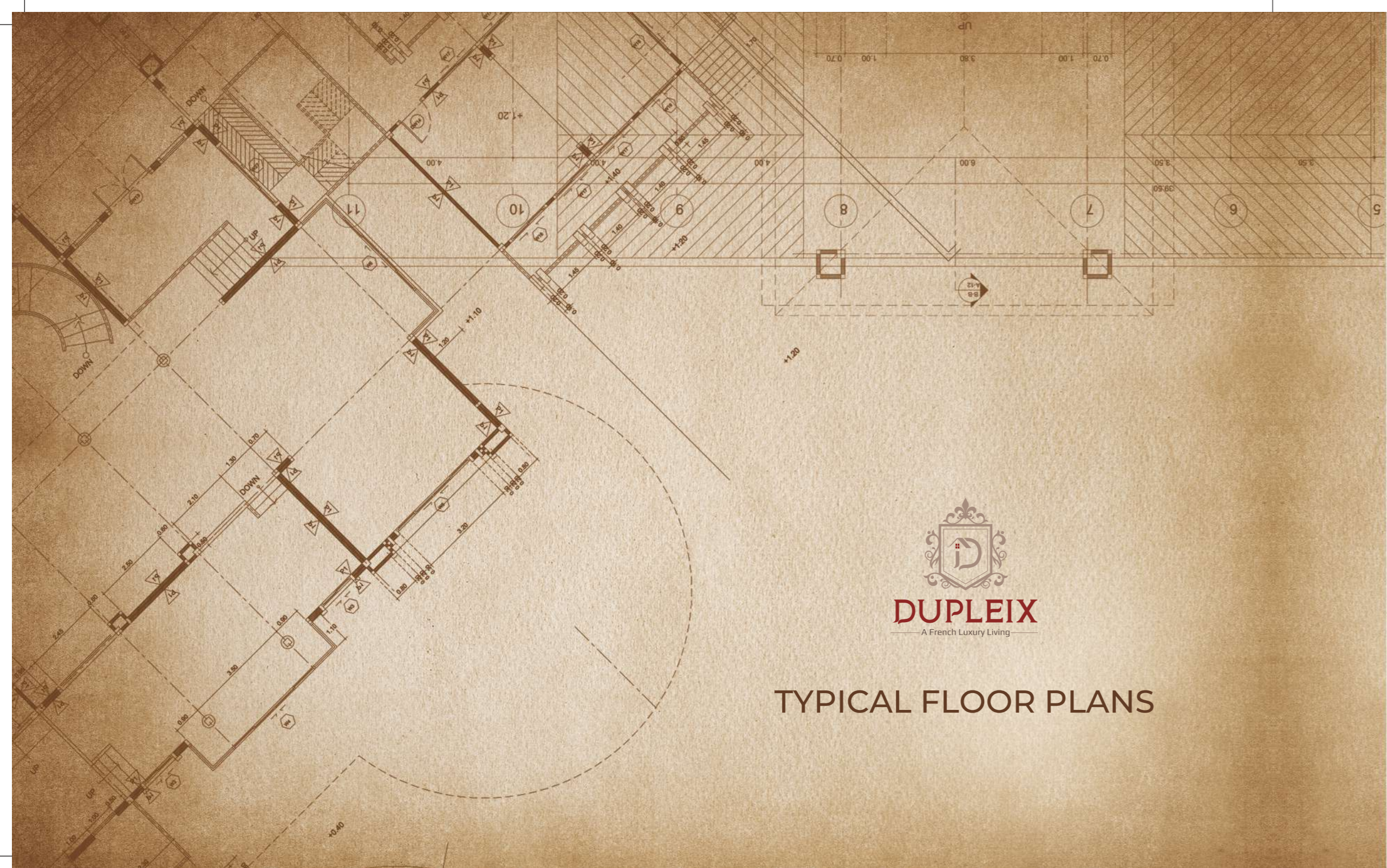
BLOCK - C			
Flat MKD.	BHK	Covered Area Sq.ft.	S.B.U Area Sq.ft. 25%
A	1BHK	400	500
B	2BHK	717	896



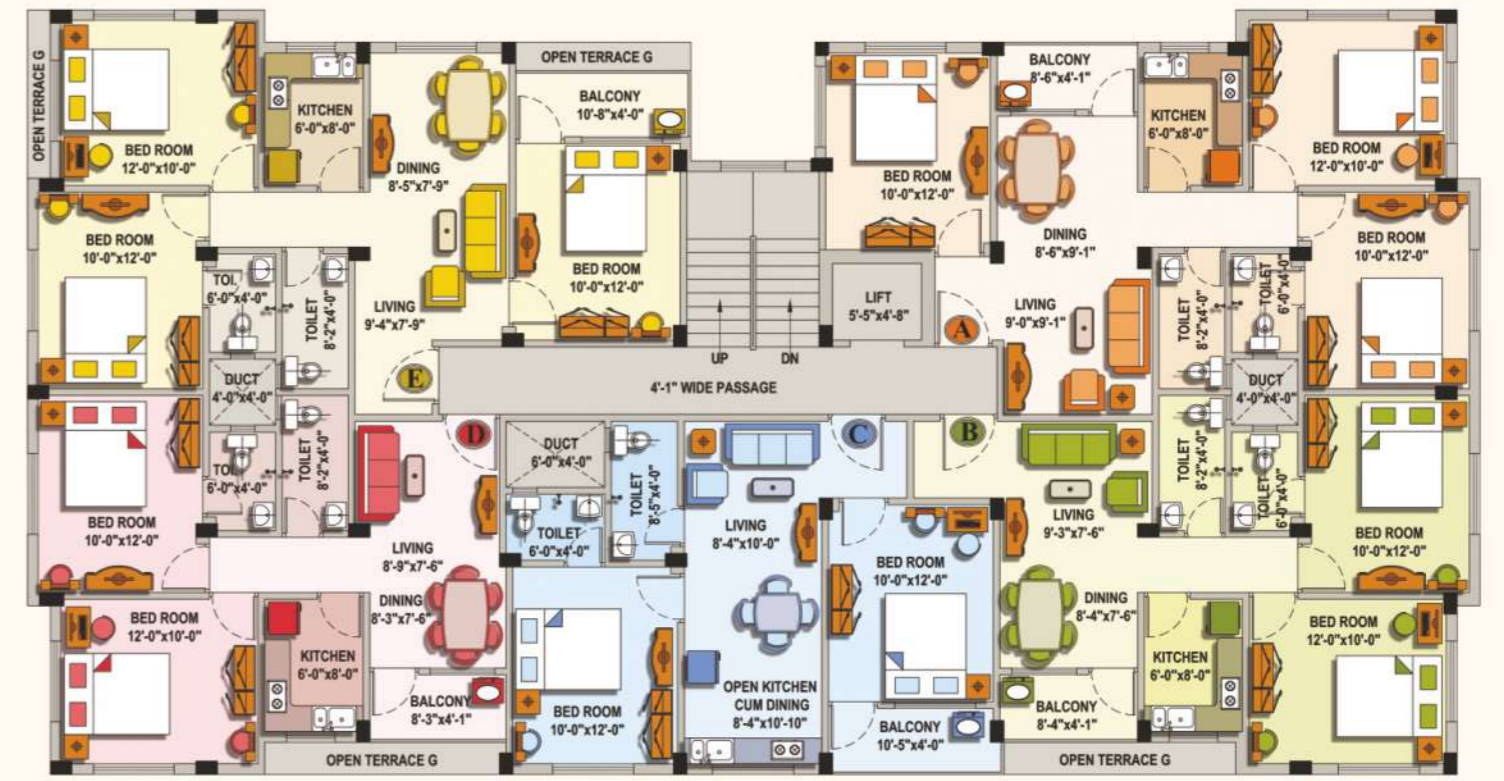
BLOCK - D		
Car Parking MKD.	Covered Area Sq.ft.	S.B.U Area Sq.ft. 10%
33	143	157

BLOCK - D			
Flat MKD.	BHK	Covered Area Sq.ft.	S.B.U Area Sq.ft. 25%
A	2BHK	630	788
B	2BHK	651	814
C	1BHK	367	458
D	2BHK	633	789

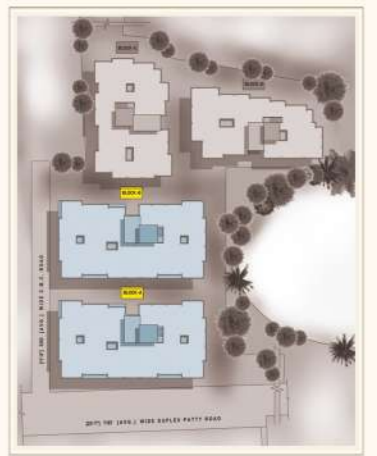




# TYPICAL FLOOR PLANS

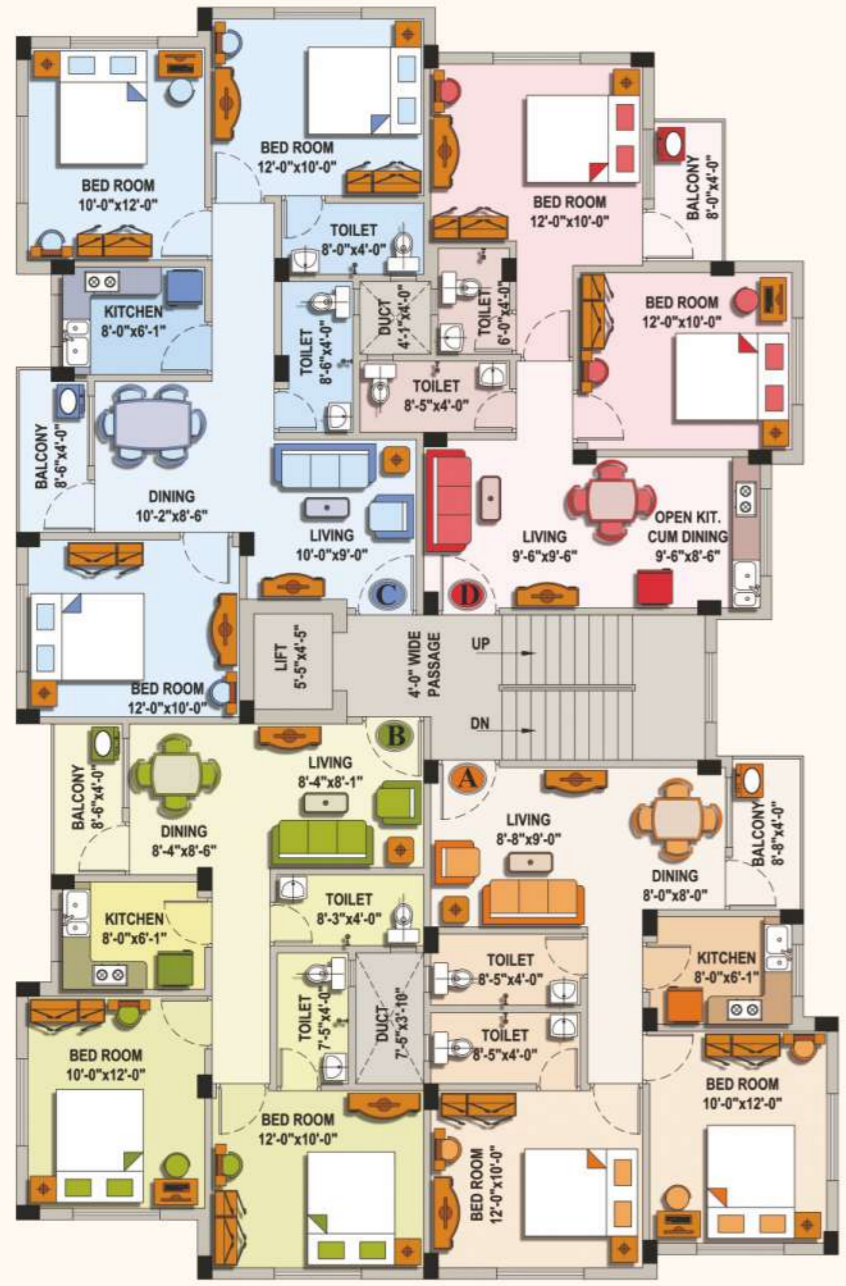


BLOCK - A & B			
Flat MKD.	BHK	Covered Area Sq.ft.	S.B.U Area Sq.ft. 25%
A	3BHK	818	1023
B	2BHK	645	806
C	2BHK	598	748
D	2BHK	613	766
E	3BHK	811	1014





**DUPLEIX**  
A French Luxury Living



BLOCK - C			
Flat MKD.	BHK	Covered Area Sq.ft.	S.B.U Area Sq.ft. 25%
A	2BHK	643	804
B	2BHK	646	808
C	3BHK	815	1019
D	2BHK	617	771



BLOCK - D			
Flat MKD.	BHK	Covered Area Sq.ft.	S.B.U Area Sq.ft. 25%
A	2BHK	630	788
B	3BHK	822	1028
C	1BHK	367	459
D	2BHK	633	791



*Every morning open your eyes to lush greenery*

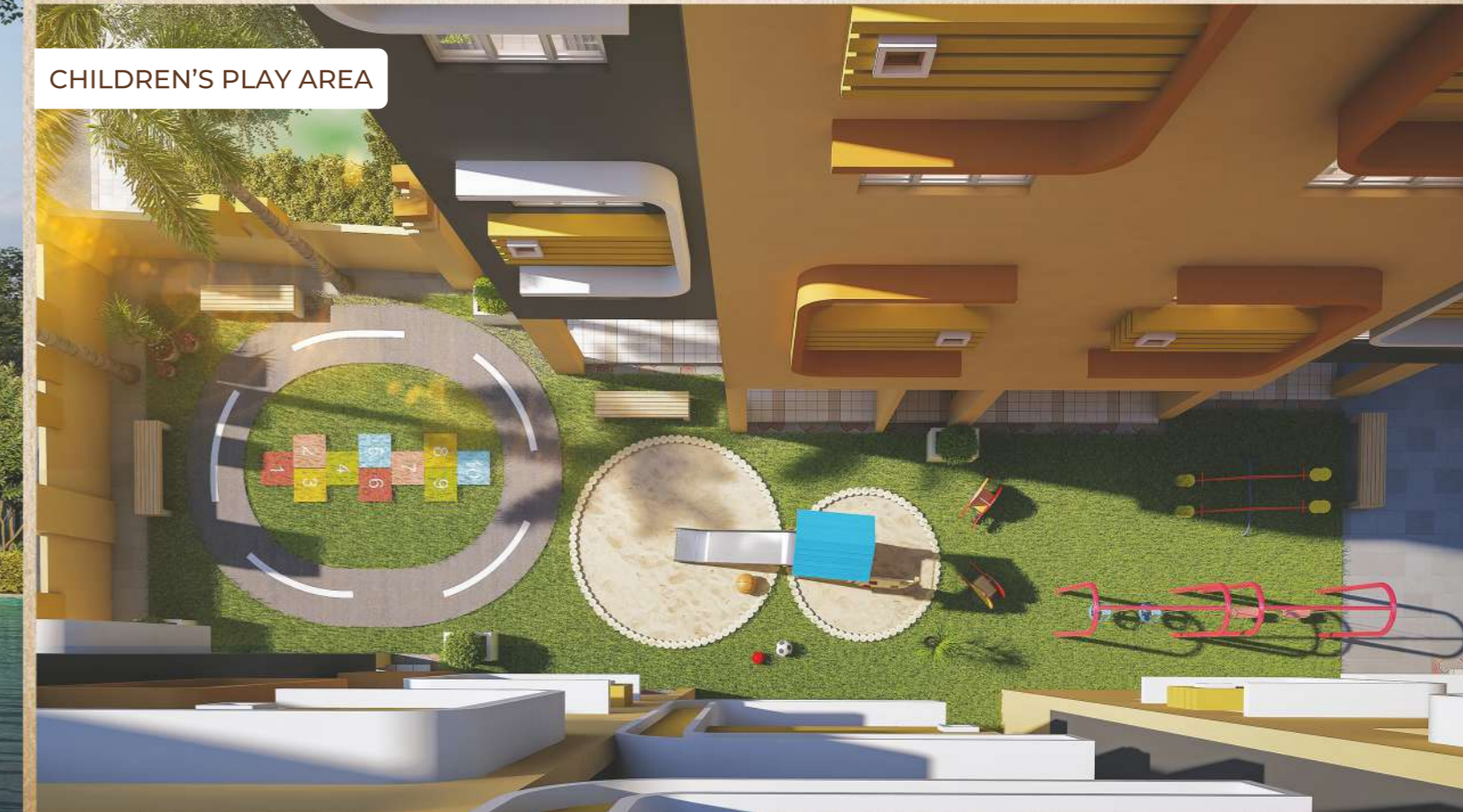


Our team of brilliant & young professionals makes things you can be proud of.

DUPLEIX is a lifestyle of freedom and finesse. You wake up to a beautiful view no matter which way your eyes take you. A lifestyle of DUPLEIX defined by the beauty of space and comfort.



CHILDREN'S PLAY AREA



3D FLOOR PLAN  
BLOCK-A [ 2 BHK FLAT ]



3D FLOOR PLAN  
BLOCK-A [ 3 BHK FLAT ]



## SPECIFICATIONS

*Far from pollution. Closer to peace*



**FOUNDATION:** Building designed on R.C.C. frame and Foundation on R.C.C. strip isolating footing.

**WALL:** Internal Wall-5" thick brick masonry and Wall care putty finish External Wall 8" thick.

**DOORS AND WINDOWS:** Doors & Windows: All doorframes would be made of Wood, inside doors shutter would be made of standard company Readymade, all doors thickness 32 mm. Main door would be made of Readymade door fitted lock. All windows would be open able & made of aluminium with frosted glass & MS grill. Aluminium doors in bathroom.

**FLOORING:** Flooring: All bed rooms, dining – Living and balcony would be finished with vitrified tiles flooring and 4" skirting. Bathroom, Kitchen would be finished with vitrified mat finish titles flooring. The walls of toilets/bathroom would be concealed line and glazed tiles of 72" height. Top Floor Roof would be finished with cement flooring. Granite/Tiles would be used in stair and lobby.

**SANITARY AND PLUMBING:** Sanitary & Plumbing: Standard toilet would be provided with C.P. Shower, one commode pan with P.V.C. Cistern and water closet and one tap, 2 in 1 mixer tap in master main toilet (all taps & C.P. fittings reputed brands). There would be concealed line and one hot water line in one bathroom. There would be only one basin in each flat.

**KITCHEN:** Black Granite counter top [7" (Length) 18" (Width)], stainless steel sink and Ceramic Glazed tiles up to 3 Ft. above counter.

### **ELECTRICAL WORKS:**

**Electricals:** Concealed copper wiring and M.C.B. of any reputed Company with adequate points switches electric connection, TRANSFORMER and Meter on actual cost basis to be borne by the purchaser/purchasers as per W.B.S.E.D.C.L. rules.

**Switch:** Modular Switch.

**Bed room** – 6 points:- 3 Lights, 1 Fan, 1–5 amp Plug, 1–A.C. Point in master bed room.

**Dining/drawing room** – 8 points: - 1 - T.V. Point, Cable Point, Fridge (15 amp) Point, 1 - Lights (and 1 light point optional), 1 - Fan (and 1 Fan point optional), 1 - 15 amp Washing Machine Point, 2 -5 amp Plug Point.

**Toilet** – 3 points:- 1 light point, 15 amp geyser point, 5 amp exhaust point. **Veranda** – 2 points:- 1 light, 5 amp Plug point.

**Kitchen** – 5 points:- 1 Light, 15 amp for micro oven, 5 amp Plug, 5 amp Purifier point, 15 amp Chimney **Entrance** – 1 bell push point.

**Switch & Socket** – Reputed company.

**WATER:** Underground water tank and overhead water tank for supply of water (24 hours).

**OUTSIDE PAINTING:** Outside Paints: weather coat with colour combination.

**STAIR CASE PAINTING:** Wall care putty.  
Staircase: Wall care putty with iron railing.